

# Bushfire Attack Level (BAL) Certificate



In accordance with the provisions of clause 3.4 of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 or, in accordance with Section 4.14(1)(b) of the Environmental Planning and Assessment Act 1979. This Certificate is to serve as notification that the part of the land on which the subject development is to be carried out and any associated access way is not in bush fire attack level – 40 (BAL-40) or the flame zone (BAL-FZ)

<b>CLIENT DETAILS:</b>	Hotondo Homes <a href="mailto:sales@hotondomnc.com.au">sales@hotondomnc.com.au</a> 79 Hastings River Drive, Port Macquarie NSW 2444
<b>SITE ADDRESS:</b>	22 Driftwood Boulevard, Old Bar NSW 2430
<b>DESCRIPTION OF PROPOSAL:</b>	Proposed attached units. Refer to Attachment 1 for proposed site plans.
<b>PLAN REFERENCES AND REPORTS: (Relied upon in report preparation)</b>	Site plans supplied by client (Attachment 1).
<b>VEGETATION AND SLOPE ASSESSMENT</b>	Grassland vegetation occurs to the West over cross-slope ground and at a distance of 20m from the proposed attached units. Forest vegetation occurs to the North over downslope (0-5°) ground and at a distance of >80m from the proposed attached units. No other vegetation considered to be a bushfire threat occurs within 100m of the Eastern and Southern elevations. Refer to Figure 2-1 for site location.
<b>BAL RATING:</b>	The proposed attached units has been assessed as <b>BAL-12.5</b> in accordance with Table A1.12.6 of PBP 2019.  <b>To Note:</b> The construction requirements for the next lower BAL than that determined for the site may be applied to an elevation of the building where the elevation is not exposed to the source of the bushfire attack. An elevation is deemed to be not exposed to the source of bushfire attack if all the straight lines between that elevation and the source of bushfire attack are obstructed by another part of the building. However, this does not apply to BAL-12.5
<b>COMPLYING DEVELOPMENT CHECKLIST</b>	Refer to Attachment 2 for compliance with development standards.
<b>DOES THE PROPOSAL RELY ON ALTERNATE SOLUTIONS?</b>	<b>YES</b> <input checked="" type="checkbox"/> <b>NO</b> (Circle the relevant response) (If <b>YES</b> , the application is to be referred to NSW RFS for assessment.)

## Firebird ecoSultants Pty Ltd

Level 3/6 Bolton Street, Newcastle NSW 2300

PO Box 354, Newcastle NSW 2300

P: 02 4910 3939

M: 0414 465 990

E: [sarah@firebirdco.com.au](mailto:sarah@firebirdco.com.au)

Note: this certificate must be completed and signed by a person recognized by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment

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Firebird ecoSultants Pty Ltd  
ABN-16 105 985 993

### General Recommendations:

- The areas of the site not built on should be managed as an Inner Protection Area (IPA) in accordance with the NSW RFS document 'Standards for Asset Protection Zones' and Appendix 4 of PBP.
- Home owners should prepare a Bush Fire Survival Plan refer to the RFS Website [http://www.rfs.nsw.gov.au/file\\_system/attachments/Attachment\\_BushFireSurvivalPlan.pdf](http://www.rfs.nsw.gov.au/file_system/attachments/Attachment_BushFireSurvivalPlan.pdf).

I Sarah Jones of Firebird ecoSultants Pty Ltd  
(Print Name) (Trading or Company Name)

have carried out a bushfire risk assessment on the above-mentioned proposal and property.

REPORT REFERENCE:	Old Bar – Hotondo Homes
REPORT DATE:	27 <sup>th</sup> June 2024
REPORT EXPIRY DATE:	27 <sup>th</sup> June 2025
CERTIFICATE NO / ACCREDITED SCHEME:	<b>FPA - BPAD – A – Certified Practitioner (BPD-26512)</b>

I hereby certify, in accordance with Section 4.14 of the *Environmental Planning and Assessment Act 1979*:

1. That I am a person recognised by the *NSW Rural Fire Service* as a qualified consultant in bushfire risk assessment.
2. The development conforms to the relevant specifications and requirements, that being; Planning for Bushfire Protection 2019 and AS3959 - 2018 NSW Variation

*\* In accordance with the provisions of Clause 3.4 of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 this Certificate is to serve as notification that the part of the land on which the subject development is to be carried out and any associated access way is not in bush fire attack level – 40 (BAL-40) or the flame zone (BAL-FZ) or I certify the development conforms to the relevant specifications and requirements of Planning for Bushfire Protection 2019"*

SIGNATURE:



DATE: 27<sup>th</sup> June 2024

### **Firebird ecoSultants Pty Ltd**

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Figure 1-1: Bushfire Prone Land Map



**Firebird ecoSultants Pty Ltd**

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P: 02 4910 3939

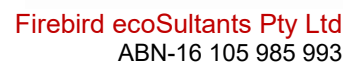
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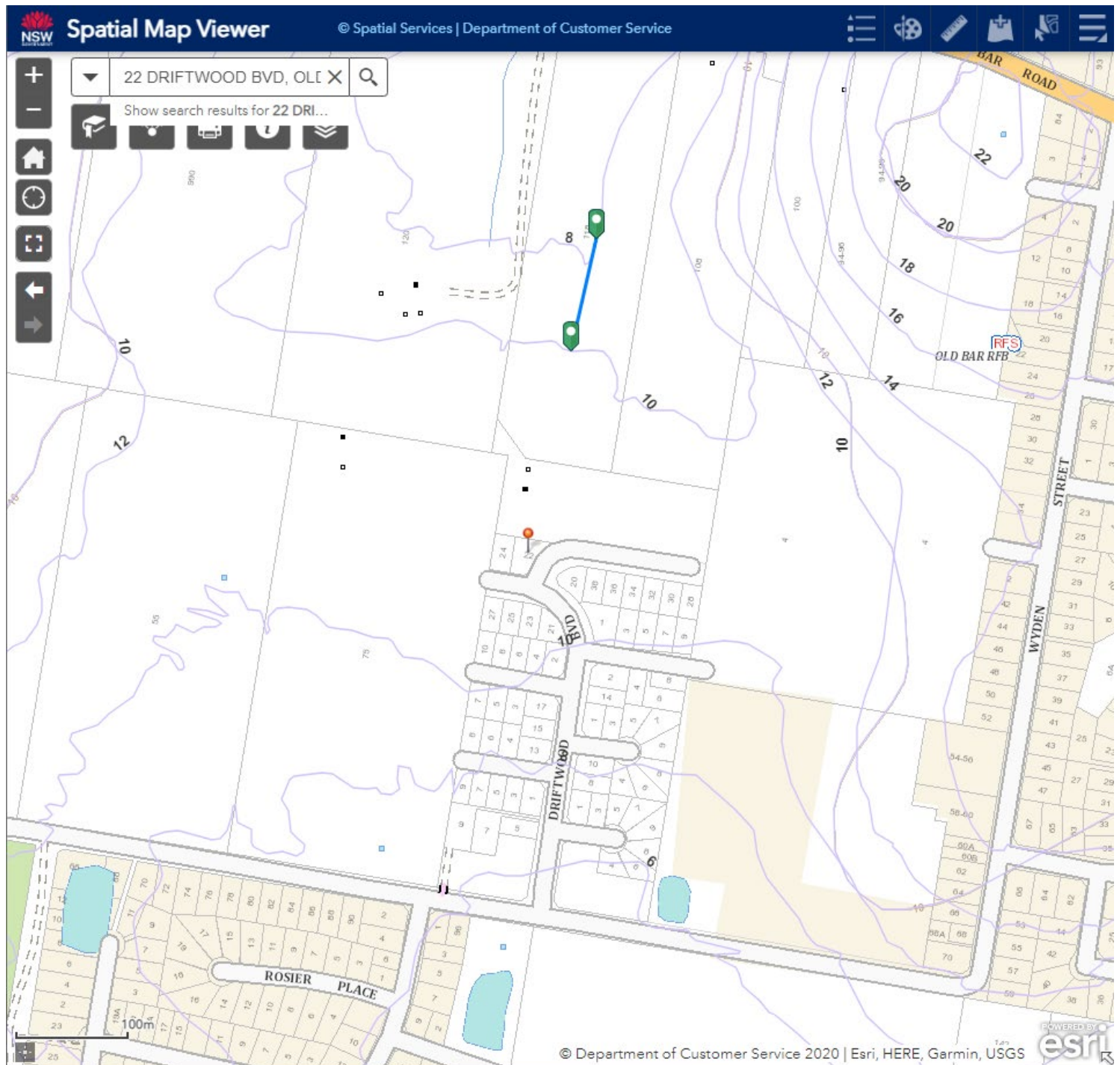
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Figure 3-1: Slope



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## Attachment 1 – Site Plans

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### Firebird ecoSultants Pty Ltd

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PO Box 354, Newcastle NSW 2300

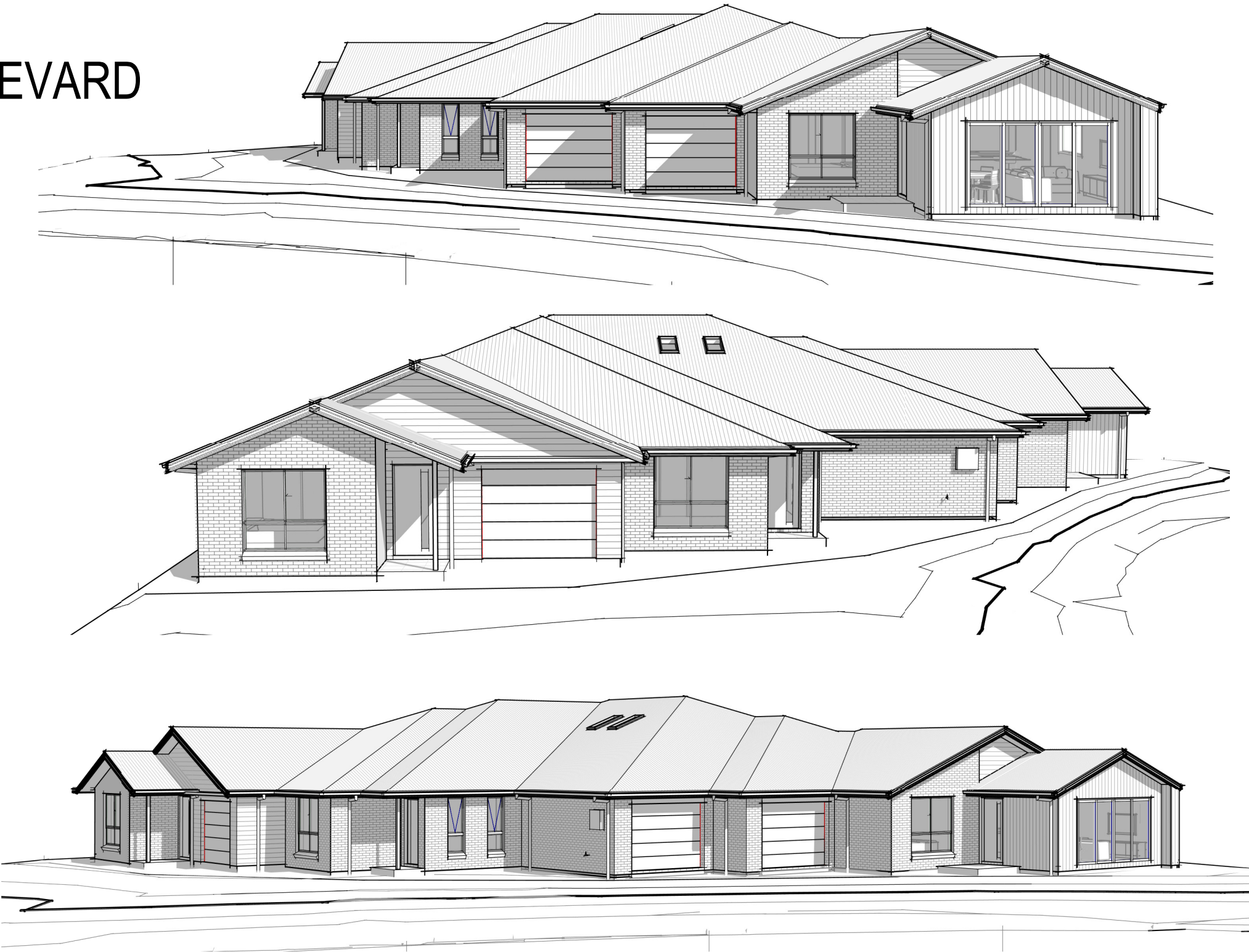
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PROPOSED RESIDENCE FOR:  
LOGAN

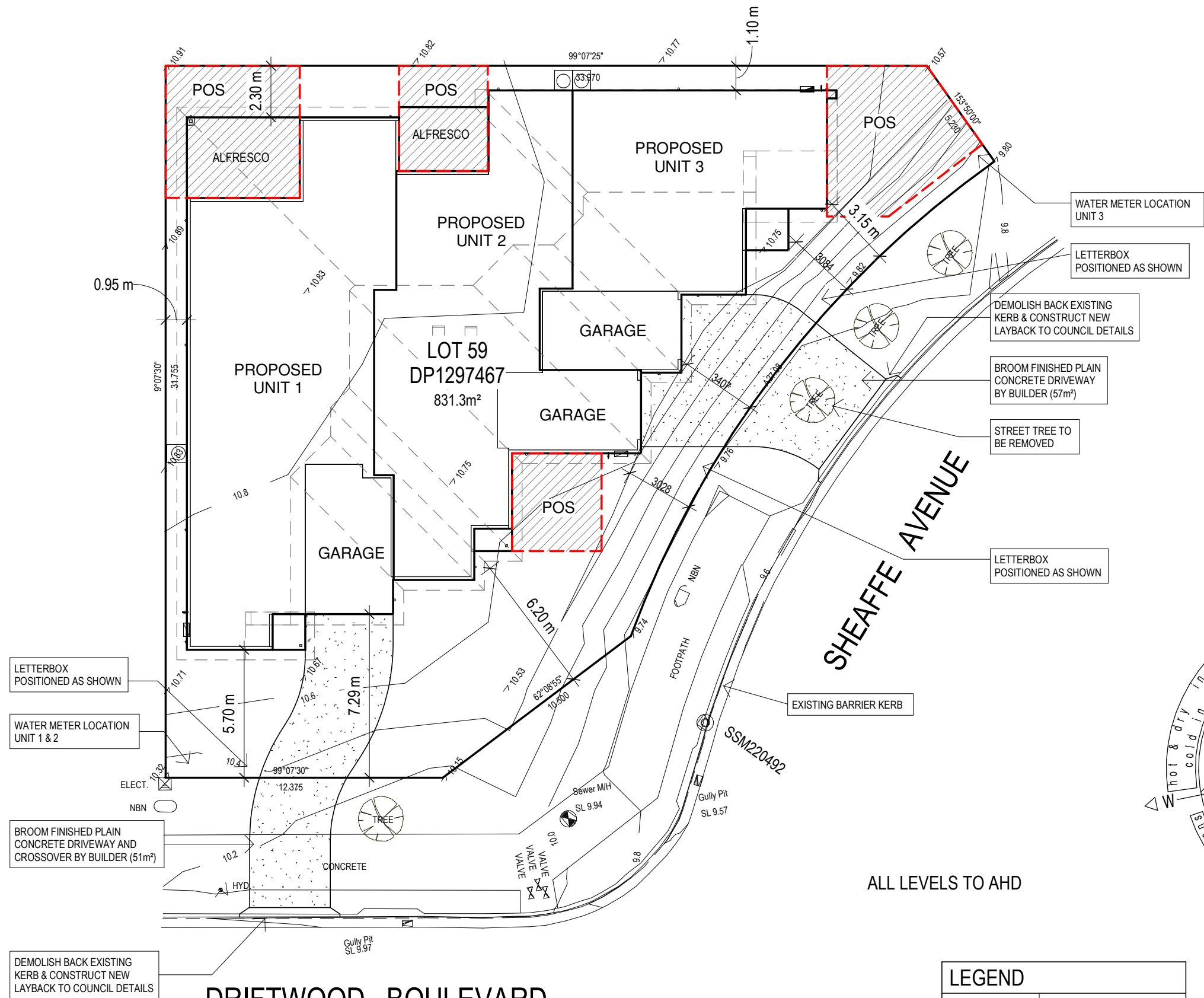
LOT 59 DP1297467  
No. 22 DRIFTWOOD BOULEVARD  
OLD BAR 2430



Sheet List	
Sheet Number	Sheet Name
00	COVER SHEET
01-1	SITE PLAN
02-1	FLOOR PLAN 1.125
02-2	FLOOR PLAN 1.100
03-1	ELEVATIONS
03-2	ELEVATIONS
04-1	SECTION
05-1	SLAB LAYOUT
05-2	BRICKWORK SETOUT
06	ELECTRICAL
07-1	KITCHEN DETAILS
08-1	WET AREA DETAILS
08-2	WET AREA DETAILS

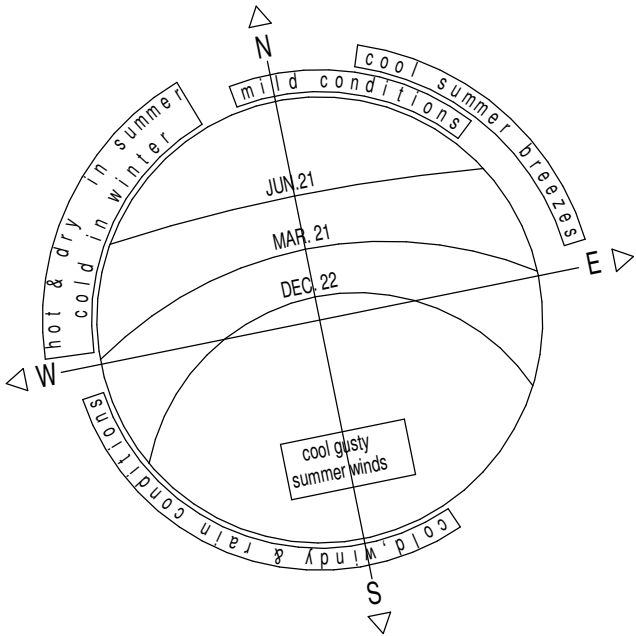
<div><div><small>THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT</small></div><div><b>COPYRIGHT HOTONDO PTY LTD</b></div></div>			<div>CLIENT .....</div> <div>DATE .....</div> <div>BUILDER .....</div> <div>DATE .....</div>	<div>PROPOSED NEW RESIDENCE</div> <div>FOR LOGAN</div> <div>AT LOT 59 DP1297467</div> <div>No. 22 DRIFTWOOD BOULEVARD</div> <div>OLD BAR 2430</div>	BASIX CERT. No.		SCALE	01.05.2024
					PLAN		DATE	
					CUSTOM GABLES		DRAWN	
					TITLE		DRAFT REF. No.	
B Council Issue			01.05.24			JOB No.		DWG No.
Rev Amendment			Date			COVER SHEET		00





SITE CALCULATIONS	
CONTROL	AREA
SITE AREA	831.3m²
GROUND FLOOR (INCL. GARAGE) (EX. EXTERNAL WALLS)	229.1m²
GARAGES	35.22m²
GROSS FLOOR AREA	367.17m²
BUILDING FOOTPRINT	493m²
MAX BUILDING HEIGHT 8.5m	6.1m
FLOOR SPACE RATIO (MAX 0.6:1)	0.44:1
PRINCIPAL PRIVATE OPEN SPACE (MIN 35m²)	3 x 35m²

- STANDARD NOTES
1. ALL WRITTEN DIMENSION TAKE PRECEDENCE OVER SCALE.
  2. ALL ROOF BEAMS, LINTELS AND BRICKWORK ANGLES TO TRUSS/WALL FRAME MANUFACTURER'S SPECIFICATIONS AND ENGINEERS VERIFICATION.
  3. WC DOORS TO COMPLY WITH BCA VOL 2 PART 10.4.2.
  4. ALL WET AREAS TO BE COMPLETED IN ACCORDANCE WITH BCA VOL 2 PT 10.2.
  5. ENGINEER DESIGNED - PREFABRICATED TIMBER ROOF TRUSSES AS PER MANUFACTURER'S SPECIFICATIONS. (600 CTS UNLESS NOTED OTHERWISE).
  6. 90mm PREFABRICATED TIMBER WALL FRAMES AS PER MANUFACTURER'S SPECIFICATIONS, U.N.O.
  7. BUILDER & TRADES ARE TO CONFIRM ALL MEASUREMENTS, DETAILS & SPECIFICATIONS PRIOR TO SET-OUT BE ORDERING OF MATERIALS.
  8. REPORT ANY ERRORS FOR CLARIFICATION/CORRECTION AS NO RESPONSIBILITY WILL BE TAKEN AFTER CONSTRUCTION HAS COMMENCED.
  9. ALL ELECTRICAL APPLIANCE & PLUMBING SYMBOLS ARE DIAGRAMMATIC ONLY. REFER TO BUILDERS SPECIFICATION FOR DETAILS OF ALL FIXTURES.
  10. SIZE AND LOCATION OF DOWNPIPES TO BE CONFIRMED ON SITE BY BUILDER.
  11. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT TRADE AND TECHNICAL MANUALS.



AREAS		
UNIT 1		
A	Living	162.13 m²
B	Garage	25.33 m²
C	Alfresco	18.75 m²
D	Porch	2.63 m²
UNIT 1: 4		208.85 m²
UNIT 2		
E	Living	130.75 m²
F	Garage	22.65 m²
G	Alfresco	14.88 m²
H	Porch	1.68 m²
UNIT 2: 4		169.96 m²
UNIT 3		
I	Living	88.91 m²
J	Garage	22.17 m²
K	Porch	3.51 m²
UNIT 3: 3		114.60 m²
Grand total: 11		493.41 m²

ROOF AREAS	
ROOF (PLAN AREA)	551 m²
ROOF (SLOPED AREA)	571 m²

LEGEND	
—SW—SW—	100dia STORMWATER LINE
----	100dia STORMWATER LINE TO TANK
DP Ø	90dia DOWNPIPE
—SF—SF—	SEDIMENT FENCE
SWP ☒	450x450 PVC STORMWATER PIT

NOTE:  
FINAL FLOOR LEVELS ARE SUBJECT TO  
ADJUSTMENT DURING SITE EXCAVATION TO  
CATER FOR SITE CONDITIONS FOUND

## 2 0-Site Plan

Scale 1 : 200



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DATE .....  
BUILDER .....  
DATE .....

PROPOSED NEW RESIDENCE  
FOR LOGAN  
AT LOT 59 DP1297467  
No. 22 DRIFTWOOD BOULEVARD  
OLD BAR 2430

BASIX CERT. No.

PLAN

CUSTOM GABLES

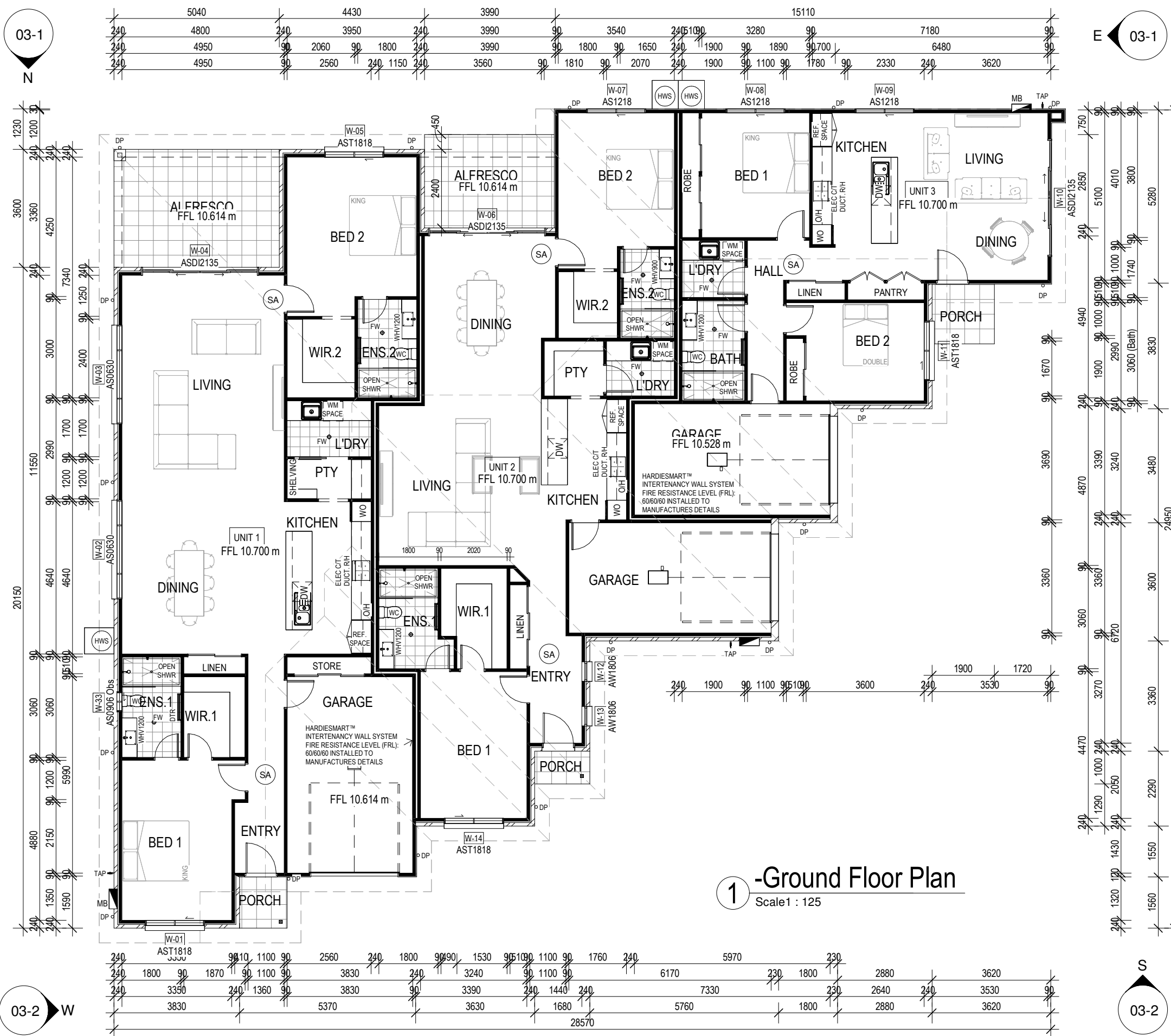
TITLE

SITE PLAN

SCALE	As indicated
DATE	01.05.2024
DRAWN	T.J.W
DRAFT REF. No.	141-24
JOB No.	DWG No.
	01-1

B	Council Issue	01.05.24
Rev	Amendment	Date





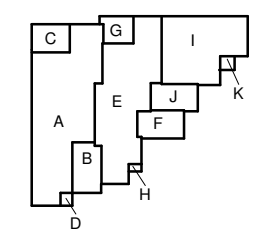
1 -Ground Floor Plan  
Scale 1 : 125

-Window Schedule			
No.	Height	Width	Area
01	1800	1810	3.26 m <sup>2</sup>
02	600	3010	1.81 m <sup>2</sup>
03	600	3010	1.81 m <sup>2</sup>
04	2100	3580	7.52 m <sup>2</sup>
05	1800	1810	3.26 m <sup>2</sup>
06	2100	3580	7.52 m <sup>2</sup>
07	1200	1810	2.17 m <sup>2</sup>
08	1200	1810	2.17 m <sup>2</sup>
09	1200	1810	2.17 m <sup>2</sup>
10	2100	3580	7.52 m <sup>2</sup>
11	1800	1810	3.26 m <sup>2</sup>
12	1800	600	1.08 m <sup>2</sup>
13	1800	600	1.08 m <sup>2</sup>
14	1800	1810	3.26 m <sup>2</sup>
15	1200	568	0.68 m <sup>2</sup>
16	1200	568	0.68 m <sup>2</sup>
33	860	610	0.52 m <sup>2</sup>
Grand total: 17			49.76 m <sup>2</sup>

LEGEND	
CPT	CARPET
CT	CERAMIC TILES
C/T	COOK TOP
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DTR / TR	TOWEL RAIL (DOUBLE) / (SINGLE)
HK	ROBE HOOK @ 1750
FT	TIMBER LAMINATE FLOORING
FFL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
FW	FLOOR WASTE
HWS	HEATPUMP HOT WATER SYSTEM
MB	RECESSED ELECTRICAL METER BOX
M/H	CEILING MANHOLE
MX	MIXER
O/H	OVERHEAD CUPBOARDS
POL	POLISHED CONCRETE FLOOR
RAIL	700mm SHOWER RAIL
R/H	RANGEHOOD (DUCTED)
S/D	SETDOWN
ST	SERVICES STACK
S	SPOUT
T	TAP
RT	TOWEL RING @ 1100
Trms	TRANSLUCENT GLASS
TRH	TOILET ROLL HOLDER
WM	WASHING MACHINE
WC	TOILET
VP	VINYL PLANK FLOORING
V1200	VANITY & LENGTH
WHV1200	WALL HUNG VANITY & LENGTH
720 LOH	DOOR WITH LIFT OF HINGES
720 P	DOOR WITH PRIVACY LOCK
SA	SMOKE ALARM
CEILING FAN LIGHT COMBO	CEILING FAN

ROOF AREAS	
ROOF (PLAN AREA)	551 m <sup>2</sup>
ROOF (SLOPED AREA)	571 m <sup>2</sup>

AREAS		
UNIT 1		
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1 1-Ground Floor Plan  
Scale 1 : 100

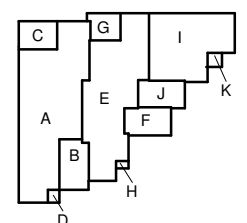
Window Schedule				
No.	Height	Width	Description	Area
01	1800	1810	Sliding Window	3.26 m²
02	600	3010	Sliding Window	1.81 m²
03	600	3010	Sliding Window	1.81 m²
04	2100	3580	Sliding Door	7.52 m²
05	1800	1810	Sliding Window	3.26 m²
06	2100	3580	Sliding Door	7.52 m²
07	1200	1810	Sliding Window	2.17 m²
08	1200	1810	Sliding Window	2.17 m²
09	1200	1810	Sliding Window	2.17 m²
10	2100	3580	Sliding Door	7.52 m²
11	1800	1810	Sliding Window	3.26 m²
12	1800	600	Awning Window	1.08 m²
13	1800	600	Awning Window	1.08 m²
14	1800	1810	Sliding Window	3.26 m²
15	1200	568	Fixed (non-operating) skylight	0.68 m²
16	1200	568	Fixed (non-operating) skylight	0.68 m²
33	860	610	Sliding Window	0.52 m²
Grand total: 17				49.76 m²


LEGEND	
CPT	CARPET
CT	CERAMIC TILES
C/T	COOK TOP
DP	DOWNSPIPE
DPS	DOWNSPIPE & SPREADER
DTR / TR	TOWEL RAIL (DOUBLE) / (SINGLE)
HK	ROBE HOOK @ 1750
FT	TIMBER LAMINATE FLOORING
FFL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
FW	FLOOR WASTE
HWS	HEATPUMP HOT WATER SYSTEM
MB	RECESSED ELECTRICAL METER BOX
MH	CEILING MANHOLE
MX	MIXER
OH	OVERHEAD CUPBOARDS
POL	POLISHED CONCRETE FLOOR
RAIL	700mm SHOWER RAIL
R/H	RANGEHOOD (DUCTED)
S/D	SETDOWN
ST	SERVICES STACK
S	SPOUT
T	TAP
RT	TOWEL RING @ 1100
Tms	TRANSLUCENT GLASS
TRH	TOILET ROLL HOLDER
WM	WASHING MACHINE
WC	TOILET
VP	VINYL PLANK FLOORING
V1200	VANITY & LENGTH
WHV1200	WALL HUNG VANITY & LENGTH
720 L/H	DOOR WITH LIFT OF HINGES
720 P	DOOR WITH PRIVACY LOCK
SA	SMOKE ALARM
CEILING FAN LIGHT COMBO	CEILING FAN

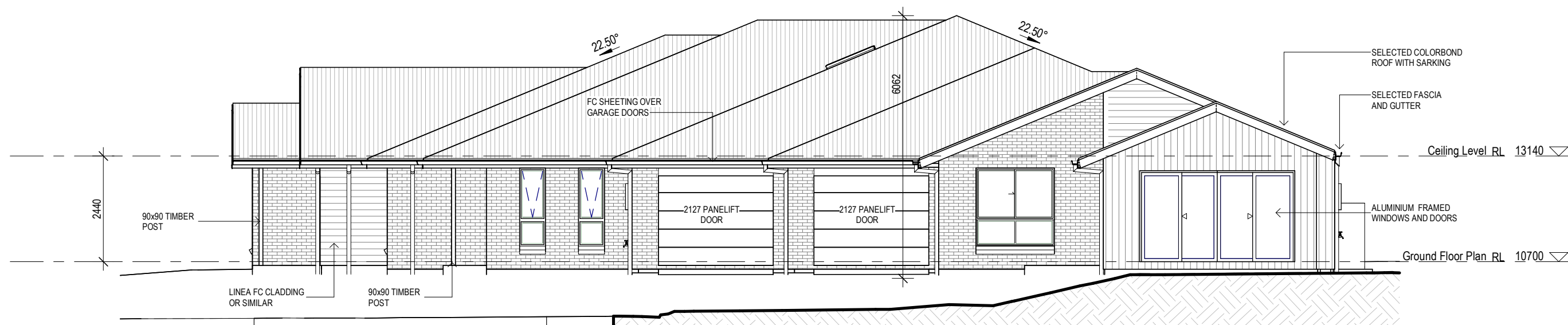
Room Schedule	
UNIT 1	
ALFRESCO	18.02 m²
BED 1	16.84 m²
BED 2	18.02 m²
DINING	23.46 m²
ENS.1	5.51 m²
ENS.2	5.40 m²
ENTRY	8.18 m²
GARAGE	22.94 m²
KITCHEN	12.09 m²
L'DRY	4.35 m²
LIVING	33.98 m²
PORCH	2.25 m²
PTY	3.07 m²
WIR.1	4.60 m²
WIR.2	4.94 m²
UNIT 1: 15	183.66 m²
UNIT 2	
ALFRESCO	11.29 m²
BED 1	14.48 m²
BED 2	15.63 m²
DINING	16.85 m²
ENS.1	5.95 m²
ENS.2	4.47 m²
ENTRY	7.41 m²
GARAGE	20.73 m²
KITCHEN	11.43 m²
L'DRY	3.46 m²
LIVING	26.44 m²
PORCH	1.68 m²
PTY	3.02 m²
WIR.1	5.70 m²
WIR.2	3.65 m²
UNIT 2: 15	152.18 m²
UNIT 3	
BATH	5.81 m²
BED 1	12.46 m²
BED 2	12.56 m²
DINING	9.34 m²
GARAGE	20.24 m²
HALL	6.38 m²
KITCHEN	13.24 m²
L'DRY	3.31 m²
LIVING	14.01 m²
PORCH	3.46 m²
UNIT 3: 10	100.82 m²
Grand total: 40	436.66 m²

ROOF AREAS	
ROOF (PLAN AREA)	551 m²

AREAS		
UNIT 1		
A	Living	162.13 m²
B	Garage	25.33 m²
C	Alfresco	18.75 m²
D	Porch	2.63 m²
UNIT 1: 4		208.85 m²
UNIT 2		
E	Living	130.75 m²
F	Garage	22.65 m²
G	Alfresco	14.88 m²
H	Porch	1.68 m²
UNIT 2: 4		169.96 m²
UNIT 3		
I	Living	88.91 m²
J	Garage	22.17 m²
K	Porch	3.51 m²
UNIT 3: 3		114.60 m²
Grand total: 11		493.41 m²

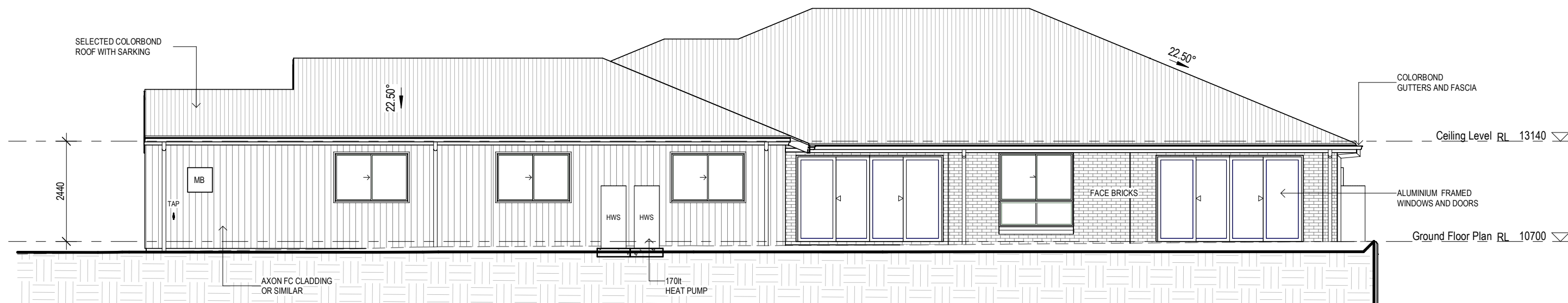


 AUSTRALIA'S LEADING NETWORK OF PROFESSIONAL BUILDERS	CLIENT .....	PROPOSED NEW RESIDENCE	BASIX CERT. No.	SCALE	As indicated
DATE .....	FOR LOGAN	AT LOT 59 DP1297467	PLAN	DATE	01.05.2024
BUILDER .....	No. 22 DRIFTWOOD BOULEVARD	OLD BAR 2430	CUSTOM GABLES	DRAWN	T.J.W
DATE .....	TITLE	FLOOR PLAN 1.100	JOB No.	DWG No.	02-2




## Eastern Elevation

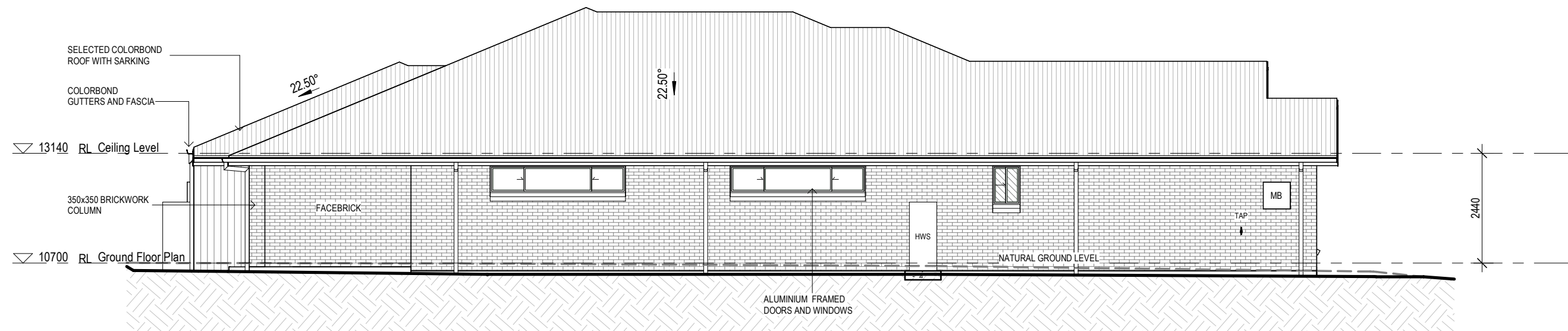
Scale 1 : 100



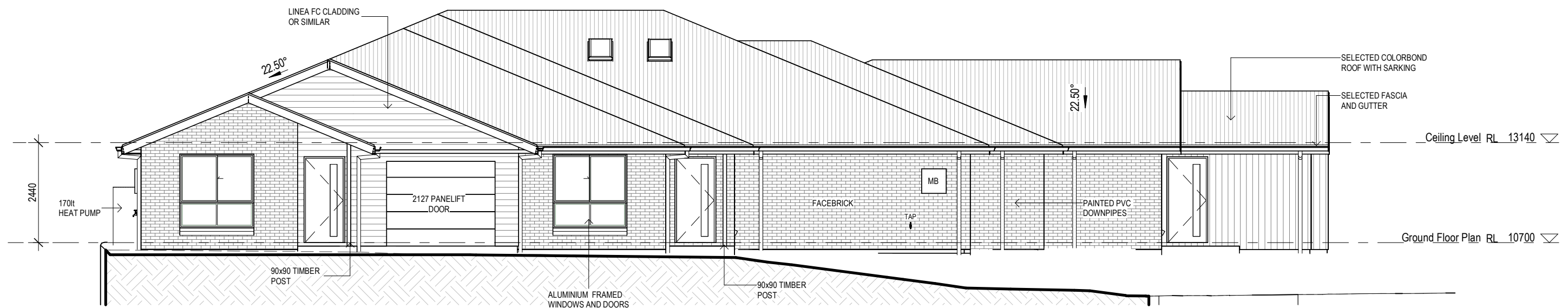
**N** Northern Elevation  
Scale 1 : 100

			 <div>Hotondo Homes</div> AUSTRALIA'S LEADING NETWORK OF PROFESSIONAL BUILDERS	CLIENT .....	PROPOSED NEW RESIDENCE	BASIX CERT. No.	SCALE	1 : 100	
							DATE	01.05.2024	
B	Council Issue	01.05.24	THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT	DATE .....	FOR LOGAN	PLAN	CUSTOM GABLES	DRAWN	T.J.W
Rev	Amendment	Date						BUILDER .....	AT LOT 59 DP1297467
			DATE .....	No. 22 DRIFTWOOD BOULEVARD	TITLE	ELEVATIONS	JOB No.	DWG No.	
				OLD BAR 2430					
			COPYRIGHT HOTONDO PTY LTD						03-1






**W Western Elevation**  
Scale 1 : 100



**S Southern Elevation**  
Scale 1 : 100

			 <small>AUSTRALIA'S LEADING NETWORK OF PROFESSIONAL BUILDERS</small>	CLIENT .....	DATE .....	BUILDER .....	DATE .....	PROPOSED NEW RESIDENCE FOR LOGAN AT LOT 59 DP1297467 No. 22 DRIFTWOOD BOULEVARD OLD BAR 2430	BASIX CERT. No.	SCALE	1 : 100	
										DATE	01.05.2024	
B	Council Issue	01.05.24	THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT COPYRIGHT HOTONDO PTY LTD							PLAN	DRAWN	T.J.W
Rev	Amendment	Date								CUSTOM GABLES	DRAFT REF. No.	141-24
										TITLE	JOB No.	DWG No.
										ELEVATIONS		03-2

## SPECIFICATIONS

### GENERAL

- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
- PLANS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS AND ALL OTHER RELEVANT CONSULTANTS DRAWINGS WHERE APPLICABLE.
- NCC - NATIONAL CONSTRUCTION CODE - VOLUME 2 - HOUSING PROVISIONS
- IF ANY DISCREPANCY, AMBIGUITY, ERROR OR INCONSISTENCY IS FOUND IN THIS SET OF DRAWINGS, REPORT TO HPC BEFORE PROCEEDING.
- ALL DIMENSIONS TO BE VERIFIED BEFORE ANY WORK OR FABRICATION COMMENCES.

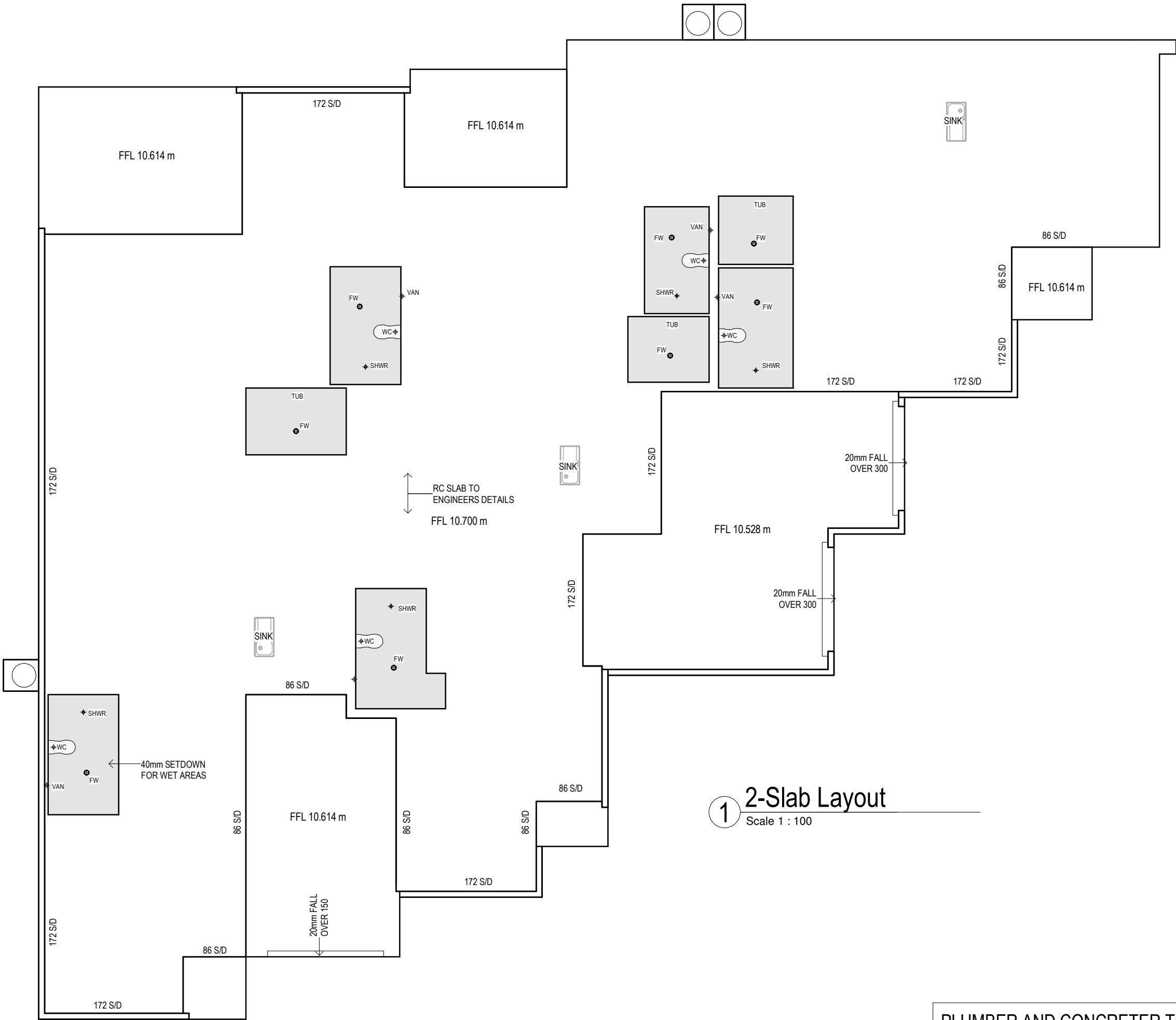
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC CONDITIONS IMPOSED BY LOCAL AUTHORITY, & COMMITMENTS NOTED IN RELEVANT BASIX CERTIFICATE
- THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT.
- BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.2 OF NCC. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.1.1 OF NCC
- PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRENEAN TERMITES IN ACCORDANCE WITH PART 3.4 OF NCC
- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 6.2.1 OF NCC
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.3 OF NCC
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH NCC OR AS1684
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1684
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL ROOF CLADDING SHALL COMPLY WITH PART 7 OF NCC, & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- GUTTERS & DOWNPIPS SHALL BE IN ACCORDANCE WITH PART 7.4 OF NCC
- SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2
- FLASHING SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CLAY BRICK WORK SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS 5416.1
- DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS4773 OR AS3700
- APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
- LINTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MASONRY VENEER SHALL COMPLY WITH PART 5.2 OF NCC
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- INTERNAL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH PART 10.2 OF NCC. WET AREA WALL LINING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART H2D8 OF NCC.
- ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
- ALL GLAZING SHALL COMPLY WITH PART 8.3 OF NCC
- STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 11.2 OF NCC
- BALUSTRADES SHALL BE IN ACCORDANCE WITH PART 11.3 AND H5D3 OF NCC
- ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3500, & BE CARRIED OUT BY A LICENSED PLUMBER
- ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
- ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY, & BE CARRIED OUT BY A LICENSED GAS FITTER
- PROVIDE & INSTALL HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786 & PART 9.5 OF NCC
- INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS3958.1
- BUILDING TO BE SEALED TO THE REQUIREMENTS OF PART 13.4 OF NCC, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF, WALLS, & FLOORS.
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF BCA, INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART H4D7 OF NCC
- INWARD SWINGING WC DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH PART 10.4.2 OF NCC
- CONDENSATION MANAGEMENT TO COMPLY WITH PART F8 OF NCC
- WALL CLADDING TO COMPLY WITH PART 7.5 OF NCC

PLEASE NOTE: THE STANDARDS REFERENCED IN THE TABLE ARE THE RELEVANT VERSION ADOPTED BY THE NCC AT THE TIME THE CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPEMNT CERTIFICATE APPLICATION WAS LODGED.



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B	Council Issue	01.05.24
Rev	Amendment	Date


- NOTES**
1. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT.
  2. ALL PLAN DIMENSIONS ARE TO OUTSIDE OF BRICK WORK UNLESS NOTED OTHERWISE.
  3. FOOTINGS AND SLAB CONSTRUCTION TO BE IN ACCORDANCE WITH ANY GEOTECHNICAL REPORT & ENGINEER'S DETAIL FOR THIS ALLOTMENT.
  4. TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS 3660.1 1995 AND B.C.A. 3.1.3.

CLIENT .....

DATE .....

BUILDER .....

DATE .....



AUSTRALIA'S LEADING NETWORK OF PROFESSIONAL BUILDERS

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141-24

FOR

LOGAN

AT

LOT 59 DP1297467

No. 22 DRIFTWOOD

BOULEVARD

OLD BAR 2430

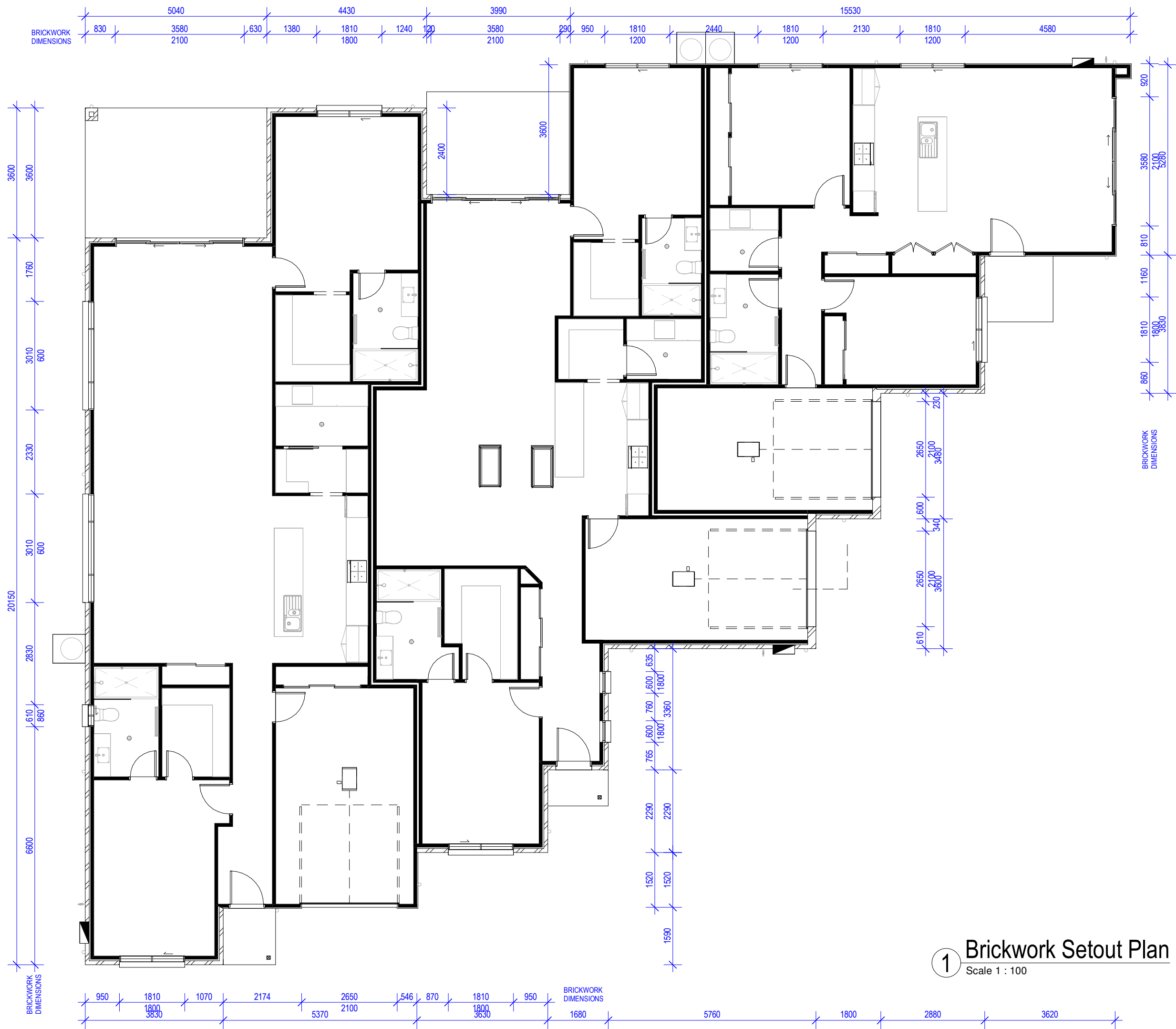
TITLE

SLAB LAYOUT

BASIX CERT. No.	
SCALE	1 : 100
DATE	01.05.2024
DRAWN	T.J.W
SHEET SIZE:	A3
JOB No.	DWG No. 05-1

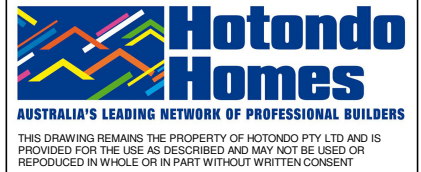
PLUMBER AND CONCRETER TO CONFIRM  
ALL PC ITEMS FOR SLAB PENETRATION  
OFFSETS AND DIMENSIONS





B	Council Issue	01.05.24
Rev	Amendment	Date

CLIENT .....  
DATE ...../...../.....  
BUILDER .....  
DATE ...../...../.....



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LOGAN  
AT  
LOT 59 DP1297467  
No. 22 DRIFTWOOD  
BOULEVARD  
OLD BAR 2430

TITLE  
  
BRICKWORK SETOUT

BASIX CERT. No.

SCALE	1 : 100
DATE	01.05.2024
DRAWN	T.J.W
SHEET SIZE:	A3
JOB No.	DWG No. 05-2

1 Brickwork Setout Plan  
Scale 1 : 100




B	Council Issue	01.05.24
Rev	Amendment	Date

ELECTRICAL LEGEND		
SYMBOL	ITEM	QTY
	LED DOWNLIGHT	
	EXTERNAL LIGHT POINT CEILING	
	DOWNLIGHT	
	PENDANT LIGHT	
	INTERNAL LIGHT POINT	
	CIRCULAR FLURO	
	OUTDOOR WALL SCONCE	
	LIGHT POINT WALL	
	CEILING MOUNTED FLUORESCENT	
	TWIN SPOT SENSOR LIGHT	
	SINGLE POWERPOINT	
	DOUBLE POWERPOINT	
	WEATHERPROOF POWERPOINT (DOUBLE / SINGLE)	
	POWER POINT WITH USB OUTLETS	
	EXHAUST FAN CEILING	
	TASTIC 2 HEATER/ LIGHT/FAN	
	TASTIC 4 HEATER/ LIGHT/FAN	
	TV POINT	
	PHONE POINT / NBN POINT	
	GAS POINT	
	CEILING FAN	
	CEILING FAN LIGHT COMBO	
	SMOKE ALARMS MUST BE INSTALLED IN ACCORDANCE WITH PART 9.5 OF NCC, AND MUST COMPLY WITH AS 3786. SMOKE ALARMS MUST BE CONNECTED TO THE CONSUMER MAINS POWER WHERE CONSUMER MAINS POWER IS SUPPLIED TO THE BUILDING	
APPROVED DOWNLIGHT NON-VENTILATED COVER OR SHIELD TO ALL CEILING PENETRATIONS FOR LIGHTING		

1 Electrical Plan  
Scale 1 : 100

CLIENT .....  
DATE ...../...../.....

BUILDER .....  
DATE ...../...../.....



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141-24  
FOR  
LOGAN  
AT  
LOT 59 DP1297467  
No. 22 DRIFTWOOD  
BOULEVARD  
OLD BAR 2430

TITLE  
  
ELECTRICAL

BASIX CERT. No.

SCALE	1 : 100
DATE	01.05.2024
DRAWN	T.J.W
SHEET SIZE:	A3
JOB No.	DWG No. 06



Firebird ecoSultants Pty Ltd  
ABN-16 105 985 993

## Attachment 2 – Compliance with Development Standards

Development Standards	Proposal	Compliance
The development conforms to the specifications and requirements of the following that are relevant to the development: 1. PBP 2019; and 2. If another document is prescribed by the regulations for the purposes of Section 4.14 of the EP&A Act – that document.	The proposal complies with the relevant Bush Fire Protection Measures as outlined in PBP and the proposed development has been assessed as BAL-12.5	The proposed development has been assessed as BAL-12.5.
The part of the lot on which the development is to be carried out is not in bushfire attack level-40 (BAL-40) or the flame zone (BAL-FZ); and	The proposal does not occur on land that has been assessed as BAL-40 and BAL-FZ.	Complies
The lot has direct access to a public road or a road vested in or maintained by the council; and	The lot has direct access to the Public Road	Complies
A reticulated water supply is connected to the lot; and	The site is connected to reticulated water.	Complies
A fire hydrant is located less than 70m from the location of the lot of the proposed development; and	A fire hydrant occurs within 70m of the lot	Complies – refer to Attachment 3 for hydrant placement.
A 10,000L water supply with 65mm metal Storz outlet with a gate or ball valve is provided for firefighting purposes on the lot (the gate or ball valve, pipes and tank penetrations are to be designed to allow for a full 50mm inner diameter water flow through the Storz fitting and must be of a metal construction). All above-ground water storage tanks shall be of concrete or metal.	N/A	N/A
Mains electricity is connected to the lot; and	The site is connected to electricity	Complies
Reticulated or bottled gas on the lot is installed and maintained in accordance with AS/NZS 1596:2008 The storage	Can Comply	Can comply

### Firebird ecoSultants Pty Ltd

Level 3/6 Bolton Street, Newcastle NSW 2300

PO Box 354, Newcastle NSW 2300

P: 02 4910 3939

M: 0414 465 990

E: [sarah@firebirdco.com.au](mailto:sarah@firebirdco.com.au)

Note: this certificate must be completed and signed by a person recognized by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment

\*\*\*\*\*





Firebird ecoSultants Pty Ltd  
ABN-16 105 985 993

Development Standards	Proposal	Compliance
and handling of LP Gas and the requirements of relevant authorities (metal piping must be used); and		
Any gas cylinders on the lot that are within 10m of the dwelling house; <ul style="list-style-type: none"><li>i. Have the release valves directed away from the dwelling house; and</li><li>ii. Are enclosed on the hazard side of the installation; and</li><li>iii. Have metal connections to and from the cylinders; and</li><li>iv. There are no polymer sheathed flexible gas supply lines to gas metres adjacent to the dwelling</li></ul>	Can comply	Can comply
The requirements of AS3959-2018 set out in the BCA also apply	Assessment in accordance with AS3959-2018 and PBP 2019 has concluded that the proposed development has been assessed as BAL-12.5	The proposed development has been assessed as BAL-12.5.

**Firebird ecoSultants Pty Ltd**

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PO Box 354, Newcastle NSW 2300

P: 02 4910 3939 M: 0414 465 990 E: [sarah@firebirdeco.com.au](mailto:sarah@firebirdeco.com.au)

Note: this certificate must be completed and signed by a person recognized by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment

\*\*\*\*\*



Firebird ecoSultants Pty Ltd  
ABN-16 105 985 993

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### Attachment 3 – Hydrant and Water Compliance

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#### Firebird ecoSultants Pty Ltd

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Note: this certificate must be completed and signed by a person recognized by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment

\*\*\*\*\*

Legend

*Refer to attached guide to  
reading MidCoast Council Plans*



**Overview**



Scale: 1:2050  
Expires: 25 Jul 2024

**DISCLAIMER:** While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither MidCoast Council nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

0 10 20 30 40 m



## Legend

*Refer to attached guide to  
reading MidCoast Council Plans*



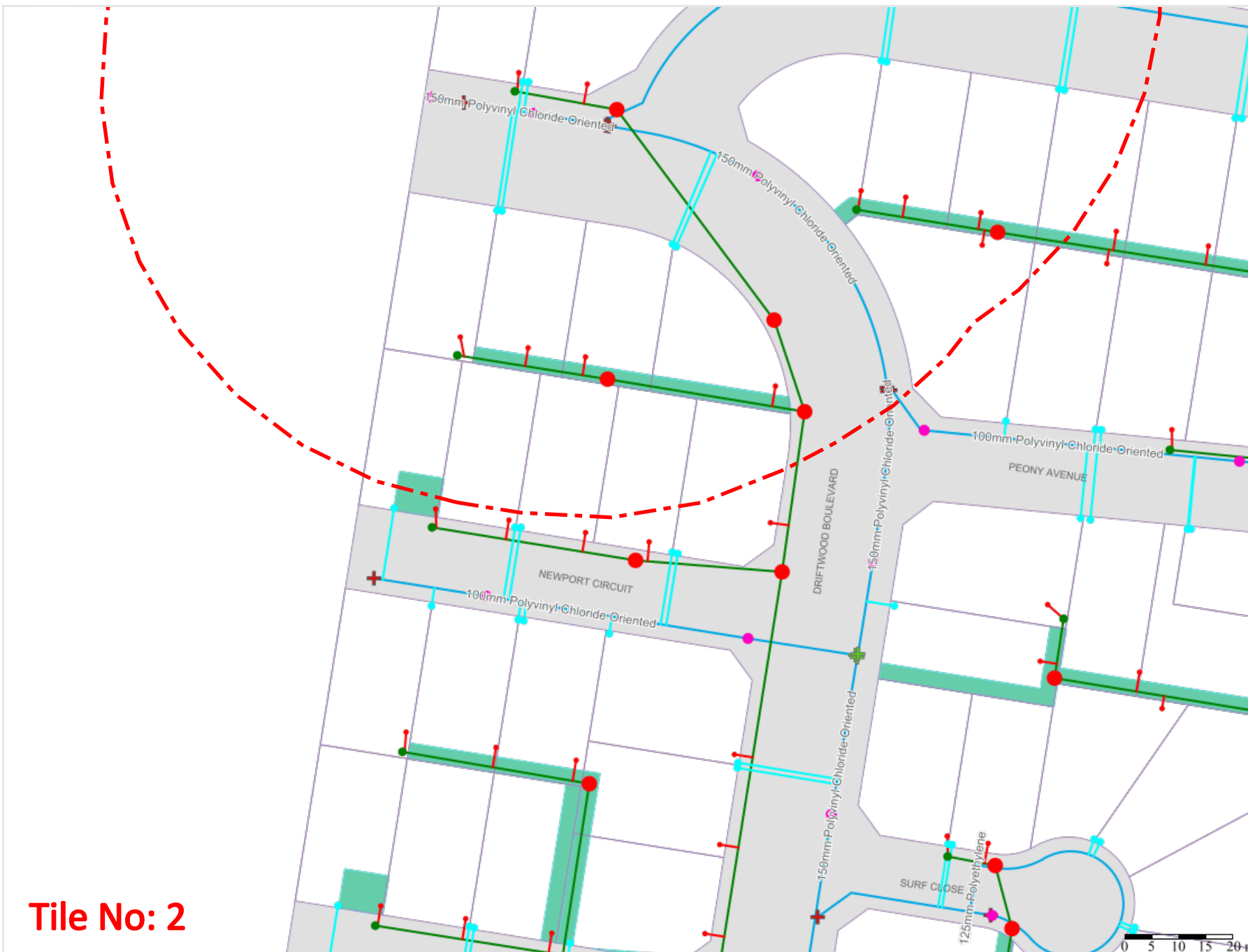
Scale: 1:1000  
Expires: 25 Jul 2024

**DISCLAIMER:** While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither MidCoast Council nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

**Tile No: 1**

Legend

*Refer to attached guide to  
reading MidCoast Council Plans*



Scale: 1:1000  
 Expires: 25 Jul 2024

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**Tile No: 2**

# Guide to reading MidCoast Council

## Before You Dig Australia Plans

This guide will help you understand our plans and what our services are.

<u>Sewer</u>		<u>Water</u>	
Manhole		Service Connection	
Service Connection		Scour Valve	
Air Valve		Air Release Valve	
Check Valve		Pressure Reducing Valve	
Pressure Reducing Valve		Check Valve	
Reflux Valve		Backflow Preventer	
Regulating Valve		Penstock Valve	
Scour Valve		Filling Station	
Vacuum Interface Valve		Gate Valve - Open	
Gate Valve - Open		Gate Valve - Closed	
Gate Valve - Closed		Butterfly Valve	
MidCoast Council Pump		Knife Gate Valve	
Private Pump		Hydrant	
Ventstack		Pump	
Flow Meter		End Cap	
Treatment Plant		Taper	
Lateral Lines		Flow Meter	
Relined Mains		Fitting	
Gravity Main		Reservoir	
Overflow		Tank	
Vent Shaft		Source	
Vacuum Main		MCC Lateral Lines	
Rising Main		Private Lines	
Pressure Retic Main		Distributor	
Asbestos Cement Pipes		Reticulation	
Boundary Kit		High Pressure	
End Cap		Internal	
Fitting		Link	
		Asbestos Cement	

If you have any questions regarding this Legend and its use, contact MidCoast Council Customer Service on (02) 7955 7777.

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